

ABBREVIATIONS

ABV	ABOVE	INSUL	INSULATION
AC	AIR CONDITIONING	INT	INTERIOR
ACOUS	ACOUSTICAL (AL)	JAN	JANTOR
AD	AREA DRAIN	JT	JOINT
AFF	ABOVE FINISH FLOOR	LAM	LAMINATED
ALT	ALTERNATE	LAW	LAW DRY
ALUM	ALUMINUM	LP	LOW POINT
ANOD	ANODIZED	MAX	MAXIMUM
AP	ACCESS PANEL	MB	MARKER BOARD
APPROX	APPROXIMATE	MECH	MECHANICAL
AUC	AUDIO VISUAL CONSOLE	MTL	METAL
BD	BOARD	MT	METAL THRESHOLD
BLDG	BUILDING	MFR	MANUFACTURE (OR)
BLKG	BLOCKING	MN	MINIMUM
BM	BEAM	MIR	MIRROR
BRJ	BRICK RELIEF JOINT	ML	MISCELLANEOUS
BRZ	BRONZE	MO	MODULE LINE/MTL LATH
BYO	BY OWNER	MOD	MODULAR OPENING
CAB	CABINET	MONO	MONOLITHIC
CAS CPT	CASE	MP	MASONRY PARTITION
CB	CATCH BASIN	MWP	MEMBRANE WATER PROOFING
CEM	CEMENT	NC	NOT IN CONTACT
CER	CERAMIC	NTS	NOT TO SCALE
CHBD	CHALKBOARD	OC	ON CENTER
CJ	CONTROL JOINT	OD	OUTSIDE DIAMETER
CLG	CEILING	OH	OVERHEAD
CMU	CONCRETE MASONRY UNIT	OPNG	OPENING
CLO	CLOSET	OPP	OPPOSITE
CO	CASED OPENING	OT	ON TOP OF OR OVER
COL	COLUMN	PL	PLATE
CONC	CONCRETE	PLAS	PLASTER
CONTR	CONTRACT (OR)	PLAM	PLASTIC LAMINATE
CONTR	CONTRACT (OR)	PLYWD	PLYWOOD
DET	DETAIL	PS	PROTECTION SCREEN
DET	DETAIL	PTD	PAINTED
DF	DRYWALL FURRING	PTN	PARTITION
DM	DIMENSION	R	RISER
DIAM	DIAMETER	RA	RETURN AIR
DN	DOWN	RD	ROOF DRAIN
DP	DRYWALL PARTITION	RE (REF)	REFERENCE
DR	DOOR	RENF	REINFORCE
DWG	DRAWING	RM	ROOM
EA	EACH	REQD	REQUIRED
EF	ELECTRIC DRINKING FOUNTAIN	SCHED	SCHEDULE (D)
EJ	EXPANSION JOINT	SF	SAND FINISH
EL	ELEVATION	SHVS	SHIELDS
ELEC	ELECTRICAL	SHT	SHEET
ELEV	ELEVATOR OR ELEVATION	SK	SIMILAR
EP	ELECTRICAL PANEL	SK	SINK
EQ	EQUAL	SM	SMOOTH
EQUIP	EQUIPMENT	SPEC	SPECIFICATIONS/ SPECIFIED
EXIST	EXISTING	SQ	SQUARE
EXP	EXPANSION	SS	SERVICE SINK
EXT	EXTERIOR	STL	STEEL
FD	FLOOR DRAIN	STD	STANDARD
FEC	FIRE EXTINGUISHER CAB	STR	STRUCTURE
FHC	FIRE HOSE CABINET	STRUC	STRUCTURE (AL)
FIN	FINISHED	SUSP	SUSPENDED
FL	FLOOR	T	TREAD
FM	FLOOR MAT	TA	TOILET ACCESSORY
FR	FRAME	TB	TUB
FURR	FURRED (IND)	TC	TOP OF CURB
FTVM	FUTURE TV MONITOR	TEMP	TEMPERED
GA	GAGE/GAUGE	THK	THICK
GALL	GALLERIE	TKGD	THICKBOARD
GC	GENERAL CONTRACTOR	TRANS	TRANSPARENT
GL	GLASS	TVM	TV MONITOR
GR	GROUND ROD ACCESS BOX	TSP	TV PROJECTOR
GST	GYPSTUM	TYP	TYPICAL
GYSUM	GYPSTUM	U	UNFIN
GWS	GYPSTUM WALL BOARD	UNFIN	UNFINISHED
HC	HANDICAP	UV	UNDERFLOOR VENT
HOW	HARDWARE	VERT	VERTICAL
HM	HOLLOW METAL	VC	VALVE CABINET
HORIZ	HORIZONTAL	VIN	VINYL
HP	HIGH POINT	VP	VISION PANEL
HT	HEIGHT	WC	WATER CLOSET
ID	INSIDE DIAMETER	WD	WOOD
INSUL	INSULATION	WDW	WINDOW
INT	INTERIOR	WP	WATERPROOFING
JAN	JANTOR	W	WITH
		W/O	WITHOUT

# LA PRESA PARK FOR WEBB COUNTY

## WEBB COUNTY

TANO E. TIJERINA  
FRANK SCIARAFFA  
ROSAURA "WAWI" TIJERINA  
JOHN GALO  
JAIME CANALES

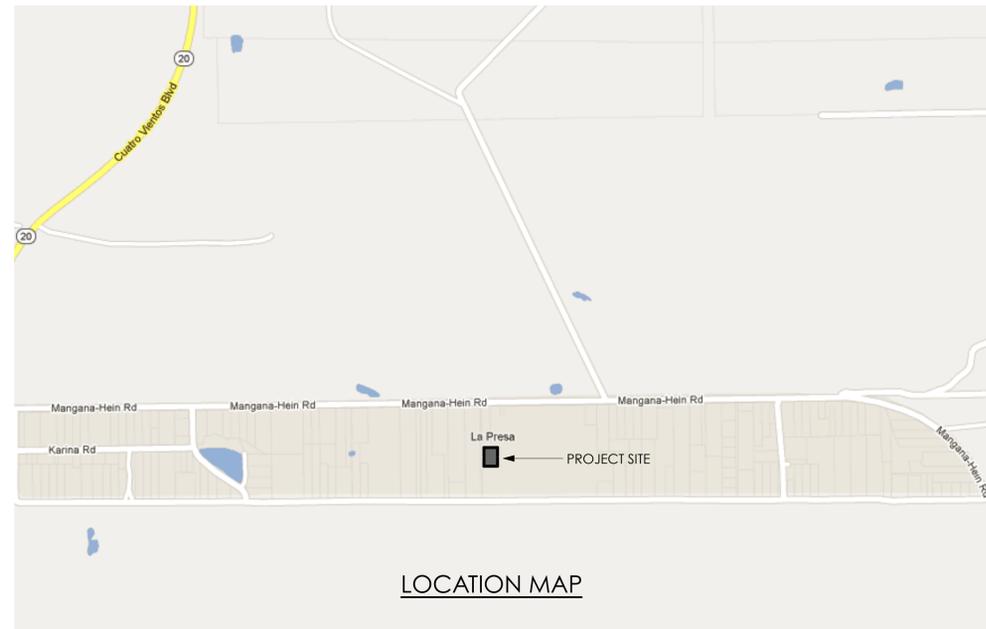
COUNTY JUDGE  
COMMISSIONER, PCT. 1  
COMMISSIONER, PCT. 2  
COMMISSIONER, PCT. 3  
COMMISSIONER, PCT. 4

### PROJECT DIRECTORY

**OWNER:**  
WEBB COUNTY  
1000 HOUSTON ST.  
LAREDO, TX 78040  
956-523-4000  
CONTACT: FRANK SCHIARAFFA,  
COMMISSION, PCT.3

**ARCHITECT:**  
HICKEY PENA ARCHITECTS  
600 SAN BERNARDO STE 901  
LAREDO, TX 78040  
956-722-8186  
CONTACT: MARIO A. PENA, AIA

**CIVIL ENGINEER:**  
SLAY ENGINEERING  
9901 MCPHERSON RD.  
LAREDO, TX 78045  
956-791-0405  
CONTACT: OSCAR CASTILLO



LOCATION MAP

SHEET	DRAWING NAME
T1	PROJECT TITLE SHEET
C1.0	SITE PLAN & GENERAL NOTES
C2.0	SITE DIMENSION PLAN
C3.0	GRADING & SWPP PLAN
C4.0	UTILITY PLAN
C5.0	SITE DETAILS
A-101	SITE PLAN
A-200	PAVILLION FLOOR PLAN & ELEVATIONS
A-301	ENLARGED BASEBALL PLAN
A-302	ENLARGED PLAYGROUND PLAN

**Note:** Any mention of Bid, Bidders, Bidding etc. shall refer to Proposal, Proposers, Proposing etc.



600 San Bernardo  
Laredo, TX 78040  
P 956.722.8186 F 956.722.8186  
815.846.1546  
hickeypena.com



DIGITALLY SIGNED NOV, 16 2016

LA PRESA PARK  
FOR  
WEBB COUNTY  
1983 MANGANA HEIN RD  
LAREDO, TX 78046

CONSULTANT

PROJECT TITLE SHEET

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DATE: 11-16-2016  
REVISIONS:

SHEET NO.:  
T1  
JOB NO.: #71

**GENERAL**

- EXISTING UTILITY INFORMATION IMPROVEMENTS AND TOPOGRAPHY TAKEN FROM SURVEY. BY GILPIN ENGINEERING ON 09/17/2012.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND BENCH MARKS NECESSARY FOR THE WORK.
- GEOTECHNICAL INFORMATION NOT AVAILABLE AT THE TIME OF DESIGN.
- THE LIMIT OF WORK LINE FOR THE AREA TO BE CLEARED AND GRUBBED SHALL BE THE SAME AS THE LIMIT OF WORK LINE NECESSARY FOR GRADING PURPOSES (I.E., THE GRADING LIMITS AROUND THE PERIMETER OF THE PROJECT AREA).
- CONTRACTOR SHALL CONTACT ENGINEER IF CONFLICTS OR QUESTIONS ON MATERIAL ARE ENCOUNTERED ON SITE.
- ALL CONSTRUCTION SHALL MEET OR EXCEED THE STATE AND LOCAL MUNICIPAL WEBB COUNTY REQUIREMENTS AND SPECIFICATIONS.
- WHERE A STATE OR LOCAL MUNICIPAL STANDARD DETAIL DUPLICATES A DETAIL SHOWN IN THE PLANS, THE MORE STRINGENT DETAIL, AS DETERMINED BY THE REVIEWING AGENCY, SHALL APPLY.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND PAYING FOR ANY PERMITS AND/OR CONNECTION FEES REQUIRED TO CARRY OUT THE WORK INCLUDING BUT NOT LIMITED TO DEMOLITION.

**DEMOLITION**

- MATERIAL DISPOSAL - THE CONTRACTOR SHALL NOTIFY THE CITY AND COUNTY OFFICIALS IN WRITING OF PROPOSED MATERIAL DISPOSAL SITES TO BE UTILIZED OUTSIDE OF THE PROJECT LIMITS AND INSIDE THE WEBB COUNTY
- DISPOSAL OF ALL DEMOLISHED MATERIALS IS THE RESPONSIBILITY OF THE CONTRACTOR AND MUST BE OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL MUNICIPAL REQUIREMENTS.
- THE CONTRACTOR SHALL PROTECT AND/OR CAP OFF ALL EXISTING ON-SITE UTILITY SERVICES DESIGNATED ON THESE DRAWINGS. SERVICES SHALL BE CAPPED OFF IMMEDIATELY WITHIN THE PERIMETER OF THE PROPERTY.

**TRAFFIC CONTROL**

- CONTRACTOR SHALL NOTIFY THE CITY OF WEBB COUNTY AT LEAST TWO (2) DAYS PRIOR TO BEGINNING WORK WITHIN THE RIGHT-OF-WAY, OR BEFORE PERFORMING ANY WORK THAT WILL OBSTRUCT OR IMPEDE THE NORMAL FLOW OF TRAFFIC.

**GRADING & DRAINAGE**

- ALL FILL SHALL BE COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE STANDARD PROCTOR METHOD (ASTM D-698), UNLESS STATED OTHERWISE ON DETAILS.

**STORM WATER POLLUTION PREVENTION & EROSION CONTROL**

- BY GRAPHIC PLOTTING ONLY, THE PROPERTY IS WITHIN ZONE C OF THE FLOOR INSURANCE RATE MAP, COMMUNITY PANEL NO. 480199B, BEARING AN EFFECTIVE DATE OF JULY 01, 1997.
- ALL PROPOSED SLOPES SHOWN IN PLAN OR AS REQUIRED SHALL BE STABILIZED AND PROTECTED FROM EROSION.
- EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO THE COMMENCEMENT OF ANY SITE WORK OR EARTHWORK OPERATIONS, THIS MEASURES SHALL BE MAINTAINED DURING CONSTRUCTION, AND SHALL REMAIN IN PLACE UNTIL ALL SITE WORK IS COMPLETE AND GROUND COVER IS ESTABLISHED.
- ALL EROSION CONTROL MEASURES SHALL BE ROUTINELY INSPECTED, CLEANED AND REPAIRED OR REPLACED AS NECESSARY THROUGHOUT ALL PHASES OF CONSTRUCTION. IN ADDITION, INSPECTION SHALL TAKE PLACE AFTER EACH RAINFALL EVENT GREATER THAN 1/2".
- STOCKPILES SHALL BE SURROUNDED ON THEIR PERIMETERS WITH CONTROL SILTATION FENCES TO PREVENT AND CONTROL SILTATION AND EROSION. TOPS OF STOCKPILES SHALL BE COVERED IN SUCH A MANNER THAT STORM WATER DOES NOT INFILTRATE THE MATERIALS AND THEREBY RENDER THE SAME UNSUITABLE FOR FILL USE.
- ALL DISTURBED OR EXPOSED AREAS SUBJECT TO EROSION SHALL BE STABILIZED WITH MULCH OR SEEDED FOR TEMPORARY VEGETATIVE COVER. NO AREA, SUBJECT TO EROSION SHALL BE LEFT DISTURBED AND UNPROTECTED FOR PERIODS LONGER THAN IS ABSOLUTELY NECESSARY TO CARRY OUT THAT PORTION OF THE CONSTRUCTION WORK, OR 1 WEEK AFTER SOIL HAS BEEN DISTURBED, WHICHEVER IS LESS.

- EARTHWORK ACTIVITY ON THE SITE SHALL BE DONE IN A MANNER SUCH THAT RUNOFF IS DIRECTED TO TEMPORARY DRAINAGE SWALES. THE LOCATION OF TEMPORARY DRAINAGE SWALES AND SEDIMENTATION TRAPS SHALL BE AS REQUIRED AS CONSTRUCTION PROGRESSES.
- THE LOCATION OF SILT FENCE FOR EROSION CONTROL PURPOSES SHALL BE INSTALLED IN ACCORDANCE WITH SEDIMENTATION AND EROSION CONTROL PLAN OR AS REQUIRED. SILT FENCE SHALL BE PERIODICALLY INSPECTED AND REPLACED AS REQUIRED.
- THE CONTRACTOR SHALL KEEP ON SITE AT ALL TIMES ADDITIONAL SILTATION FENCING FOR INSTALLATION TO MITIGATE ANY EMERGENCY CONDITION.

- THE AREA OR AREAS OF ENTRANCE AND EXIT TO AND FROM THE SITE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ON TO PUBLIC RIGHT-OF-WAY. THIS MAY INCLUDE A GRAVEL CONSTRUCTION ENTRANCE OR OTHER EROSION CONTROL MEASURES. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ON TO PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY.

- UPON COMPLETION OF ALL SITE WORK, CONSTRUCTION SITE CONTRACTOR SHALL INSPECT ALL CATCH BASINS AND CURB INLETS ON-SITE AND REMOVE ALL SEDIMENT AND TRASH DEBRIS THAT HAS ACCUMULATED WITHIN EACH INLET SUMP.

- UTILITIES, GENERAL**
- CONTRACTOR SHALL VERIFY EXISTING WATER SOURCE WITH COUNTY ENGINEER. CONTRACTOR SHALL CONTACT OWNER AND ENGINEER IF ANY CONFLICTS OR DIFFERENCES ARE NOTED.
  - THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS FROM VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN ON THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIG TEST" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLAN PER THE APPROPRIATE REMEDIAL ACTION AGREED UPON BY THE ENGINEER.
  - A 10' MINIMUM CLEARANCE (VERTICAL AND HORIZONTAL) SHALL BE KEPT BETWEEN ALL UTILITIES UNLESS OTHERWISE NOTED OR EXCEPTED.
  - A MINIMUM OF 10-FOOT HORIZONTAL CLEARANCE SHALL BE MAINTAINED BETWEEN SANITARY SEWER MAINS AND WATER MAINS. WHENEVER CONDITIONS PREVENT A LATERAL SEPARATION OF 10 FEET TO A WATER MAIN, THE WATER MAIN SHALL BE LAID IN A SEPARATE TRENCH AND THE ELEVATION OF THE CROWN OF THE SEWER SHALL BE AT LEAST 18 INCHES BELOW THE INVERT OF THE WATER MAIN.
  - ALL WATER MAIN AND SEWER MAIN APPURTENANCES, MATERIALS, METHODS OF INSTALLATION AND TESTING REQUIREMENTS, SHALL MEET OR EXCEED REQUIREMENTS SHOWN ON SPECS.

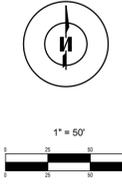
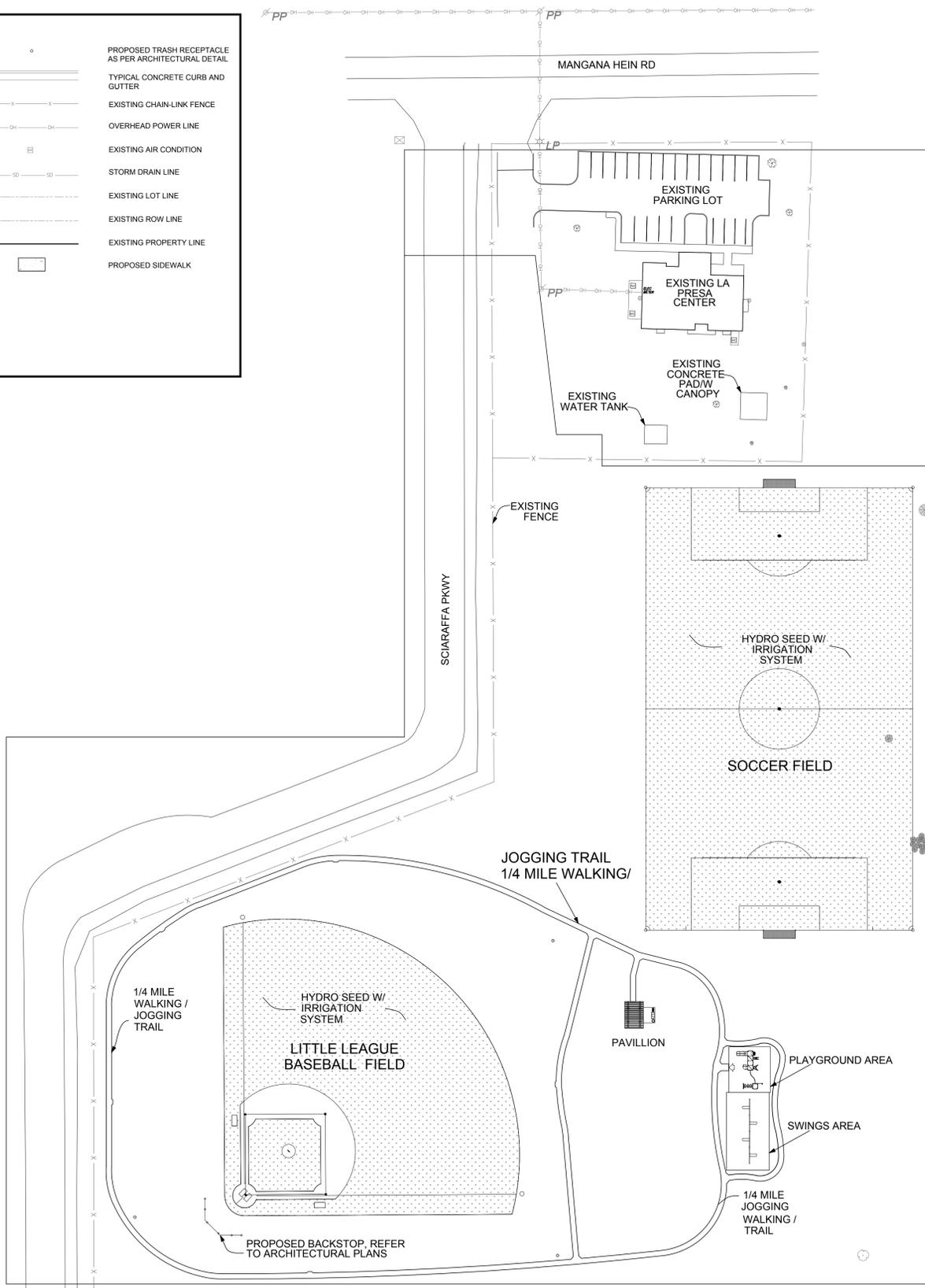
- WATER**
- ALL DOMESTIC WATER MAINS SHALL BE PVC SCH 40 OR APPROVAL EQUAL BY THE ENGINEER.
  - DOMESTIC WATER SERVICE SHALL BE INSTALLED WITH APPROPRIATELY SIZED GATE VALVE(S) AND FITTINGS.
  - PRESSURE AND LEAKAGE TEST, DISINFECTION AND FLUSHING SHALL BE IN ACCORDANCE WITH WEBB COUNTY REQUIREMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS IN CONNECTION WITH UTILITY TESTS, FLUSHING AND INSPECTIONS AS REQUIRED.
  - ALL WATER MAINS BENEATH CONCRETE STRUCTURES (STREETS, CHANNELS, FENCES, ETC) AND CROSSING RESIDENTIAL PROPERTIES MUST BE ENCASED IN DUCTILE IRON PIPE.
  - WATER LINES SHALL BE ROUTED AROUND STORM DRAIN INLETS WITH A MINIMUM OF 12" CLEARANCE.

- SEWER**
- ALL SANITARY SEWER PIPE SHALL BE SDR-35 PVC (ASTM D-3034) OR (ASTM F 789).

- CONTACT INFORMATION**
- COUNTY ENGINEER  
**ARTURO R. BARRERA, JR., P.E., PMP**  
 WEBB COUNTY ENGINEER  
 (956)523-4054

**CALL BEFORE YOU DIG!**  
 TEXAS ONE CALL PARTICIPANTS REQUEST 48 HOURS NOTICE BEFORE YOU DIG, DRILL, OR BLAST-STOP CALL!  
 TEXAS ONE CALL SYSTEM  
 1-800-245-4545  
 AT&T  
 AT 1-800-828-5127  
 THE LONE STAR NOTIFICATION CENTER  
 1-800-669-8344  
 TEXAS EXCAVATION SAFETY SYSTEM  
 1-800-344-8377

LEGEND		
	STREET SIGN	PROPOSED TRASH RECEPTACLE AS PER ARCHITECTURAL DETAIL
	WATER METER	TYPICAL CONCRETE CURB AND GUTTER
	TELEPHONE MARKER	EXISTING CHAIN-LINK FENCE
	TELEPHONE PEDESTAL	OVERHEAD POWER LINE
	WATER VALVE	EXISTING AIR CONDITION
	MAIL BOX	STORM DRAIN LINE
	POWER POLE	EXISTING LOT LINE
	TRAFFIC LIGHT POLE	EXISTING ROW LINE
	LIGHT POLE	EXISTING PROPERTY LINE
	GUY WIRE	PROPOSED SIDEWALK
	FIRE HYDRANT	
	CLEANOUT	
	TELEPHONE MANHOLE	
	SANITARY SEWER MANHOLE	
	EXISTING TREE/SCHRUB	



**HICKEY PEÑA ARCHITECTS**

919 Victoria  
 Laredo, TX 78040  
 P 956.722.8186  
 F 956.846.1346  
 hickeypena.com



**LA PRESA PARK FOR WEBB COUNTY**

1983 MANGANA HEIN RD  
 LAREDO, TX 78046

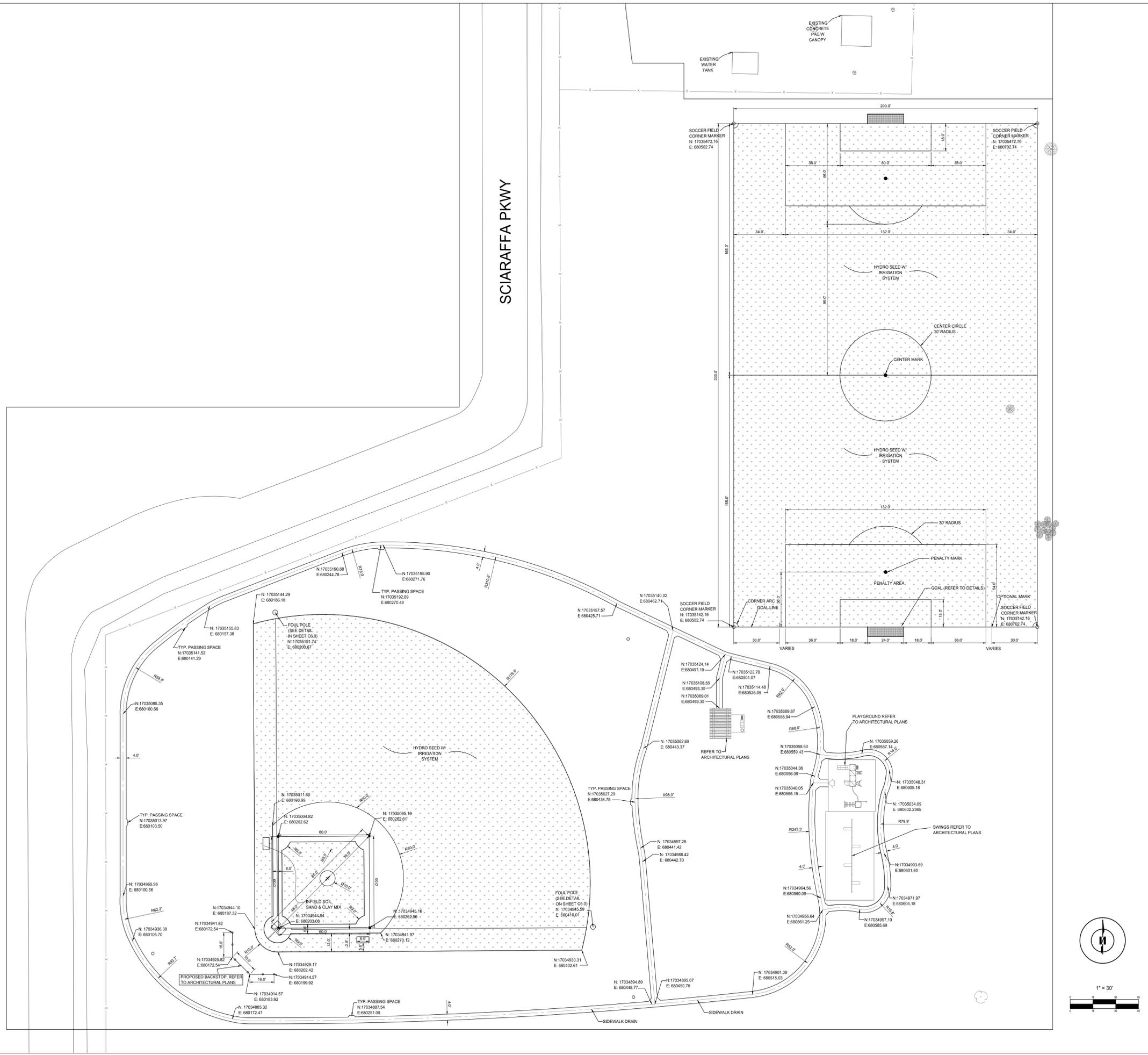
**SLAY ENGINEERING**  
 Company, Inc.  
 REGISTRATION NUMBER: E-1101  
 9901 McPherson Avenue, Suite 104  
 Laredo, Texas 78045  
 (956) 791-0805 - tel.  
 (956) 791-1703 - fax.

**SITE PLAN & GENERAL NOTES**

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**C1.0**  
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**LEGEND**

[Symbol]	STREET SIGN
[Symbol]	WATER METER
[Symbol]	WATER VALVE
[Symbol]	POWER POLE
[Symbol]	LIGHT POLE
[Symbol]	CLEANOUT
[Symbol]	SANITARY SEWER MANHOLE
[Symbol]	EXISTING TREE/SHRUB TO BE REMOVED
[Symbol]	REVERSE CONCRETE CURB AND GUTTER
[Symbol]	TYPICAL CONCRETE CURB AND GUTTER
[Symbol]	EXISTING CHAIN-LINK FENCE
[Symbol]	OVERHEAD POWER LINE
[Symbol]	WATER LINE
[Symbol]	SANITARY SEWER LINE
[Symbol]	GAS LINE
[Symbol]	TELEPHONE BURIED CABLE
[Symbol]	STORM DRAIN LINE
[Symbol]	EXISTING LOT LINE
[Symbol]	EXISTING ROW LINE
[Symbol]	EXISTING PROPERTY LINE
[Symbol]	EXISTING FENCE
[Symbol]	PROPOSED TRASH RECEPTACLE AS PER ARCHITECTURAL DETAIL

**NOTES:**  
 1. ALL SOCCER FIELD MARKING LINES SHALL BE 5" WIDE.  
 2. COORDINATE CONCRETE PADS WITH STRUCTURE FOR ANCHORS AND FOOTINGS.  
 3. SIDEWALKS SHALL HAVE A PASSING SPACE AT A DISTANCE NOT EXCEEDING 200'.



919 Victoria  
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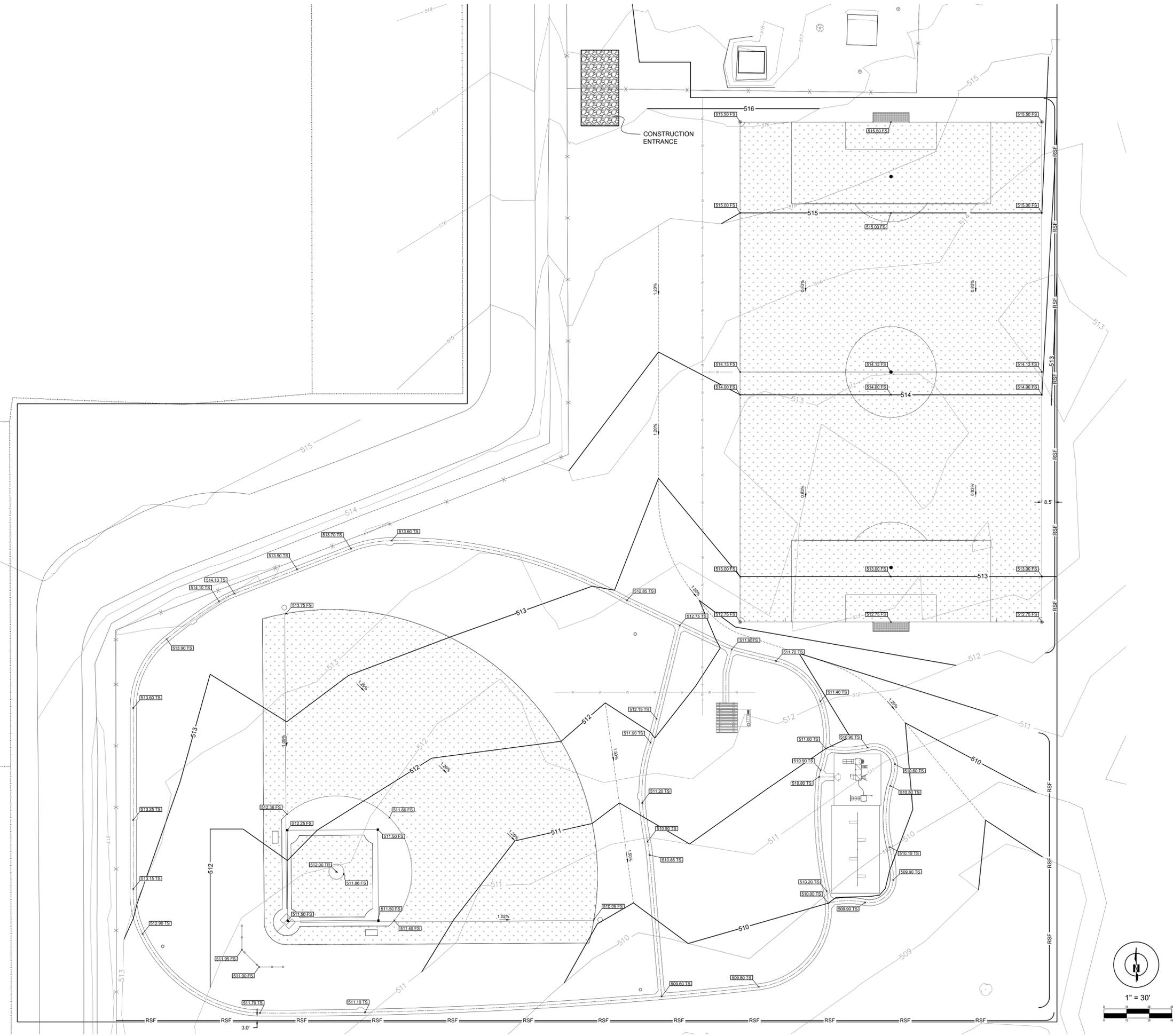
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 REGISTRATION NUMBER F-1901  
 9901 McPherson Avenue, Suite 104  
 Laredo, Texas 78045  
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**SITE PLAN DIMENSION**

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**LEGEND**

	WATER METER
	WATER VALVE
	LIGHT POLE
	GUY WIRE
	FIRE HYDRANT
	CLEANOUT
	SANITARY SEWER MANHOLE
	EXISTING TREE/SHRUB
	TYPICAL CONCRETE CURB AND GUTTER
	EXISTING CHAIN-LINK FENCE
	OVERHEAD POWER LINE
	WATER LINE
	SANITARY SEWER LINE
	GAS LINE
	TELEPHONE BURIED CABLE
	STORM DRAIN LINE
	EXISTING LOT LINE
	EXISTING ROW LINE
	EXISTING PROPERTY LINE
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	PROPOSED CONTOUR
	PROPOSED REINFORCED SILT FENCE TBM # 1

**ELEVATION DESIGNATION LEGEND**

FF	FINISH FLOOR DESIGNATION
TS	TOP OF SIDEWALK DESIGNATION
FS	FINISH SURFACE DESIGNATION
FL	FLOW LINE DESIGNATION
TR	TOP OF PITCHER'S RUBBER PLATE
---	FLOW LINE

**STORM WATER POLLUTION PREVENTION & EROSION CONTROL**

1. BY GRAPHIC PLOTTING ONLY, THE PROPERTY IS WITHIN ZONE X OF THE FLOOR INSURANCE RATE MAP, COMMUNITY PANEL NO. 481059 1395C, BEARING AN EFFECTIVE DATE OF APRIL 02, 2008.
2. ALL PROPOSED SLOPES SHOWN IN PLAN OR AS REQUIRED SHALL BE STABILIZED AND PROTECTED FROM EROSION.
3. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO THE COMMENCEMENT OF ANY SITE WORK OR EARTHWORK OPERATIONS. THESE MEASURES SHALL BE MAINTAINED DURING CONSTRUCTION AND SHALL REMAIN IN PLACE UNTIL ALL SITE WORK IS COMPLETE AND GROUND COVER IS ESTABLISHED.
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STATE OF TEXAS  
**OSCAR CASTILLO**  
 95620  
 LICENSED PROFESSIONAL ENGINEER  
 01/25/12

**LA PRESA PARK FOR WEBB COUNTY**  
 1983 MANGANA HEIN RD  
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**GRADING & SWPP PLAN**

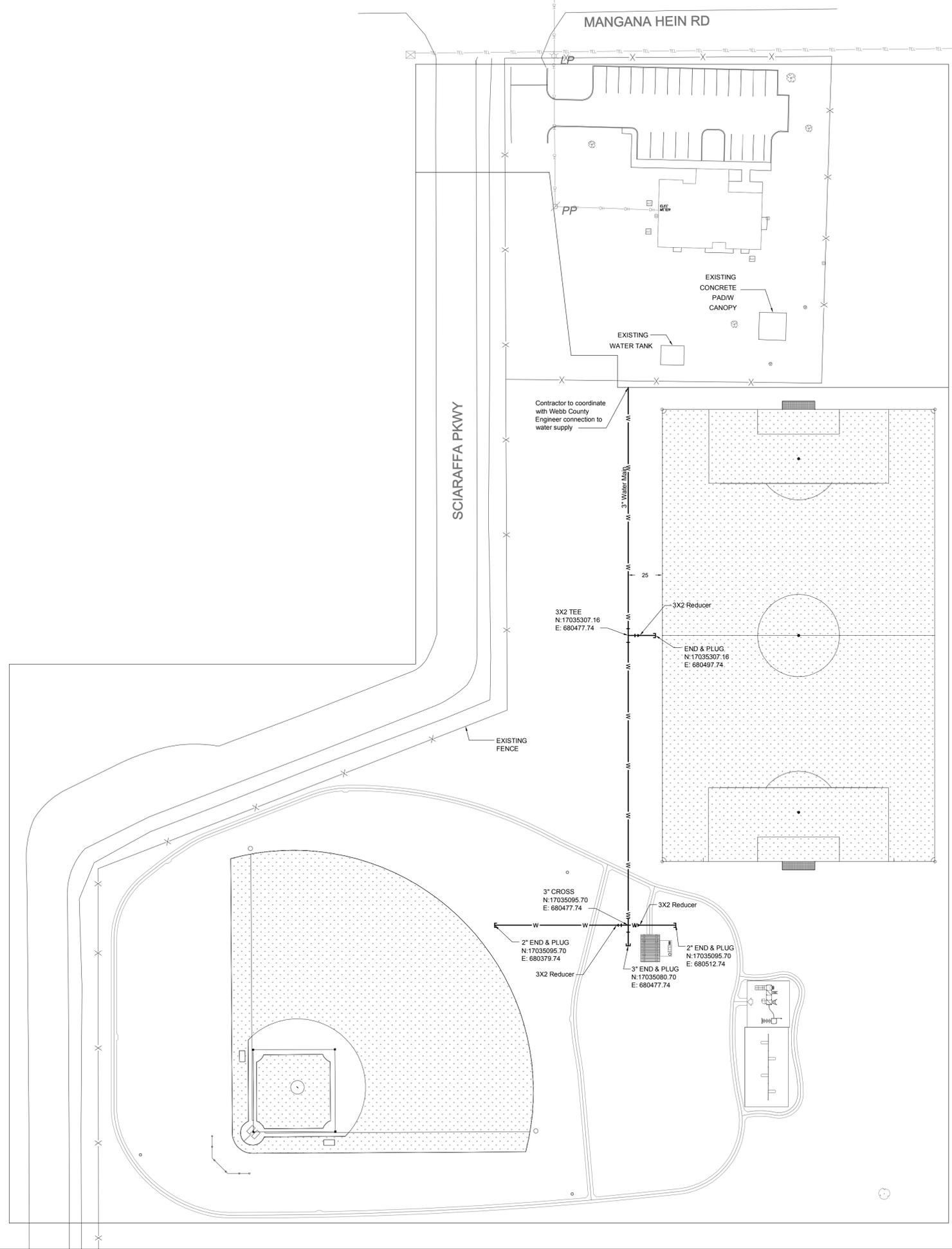
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DATE: SEPTEMBER 2012  
 REVISIONS:

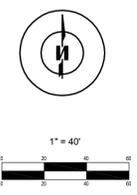
SHEET NO.:  
**C3.0**  
 JOB NO.: 0950

LEGEND	
	STREET SIGN
	WATER METER
	TELEPHONE MARKER
	TELEPHONE PEDESTAL
	WATER VALVE
	POWER POLE
	LIGHT POLE
	FIRE HYDRANT
	CLEANOUT
	SANITARY SEWER MANHOLE
	EXISTING TREE/SCHRUB
	EXISTING CHAIN-LINK FENCE
	OVERHEAD POWER LINE
	EXISTING SANITARY SEWER LINE
	EXISTING LOT LINE
	EXISTING ROW LINE
	EXISTING PROPERTY LINE
	EXISTING CONTOUR
	PROPOSED WATER LINE
	PROPOSED SANITARY SEWER LINE
	PROPOSED CONTOUR
	EXISTING AIR CONDITION
	EXISTING TELEPHONE CABLE

**CALL BEFORE YOU DIG!**  
 TEXAS ONE CALL PARTICIPANT'S REQUEST  
 48 HOURS NOTICE BEFORE YOU DIG, DRILL  
 OR BLAST-STOP, CALL  
 TEXAS ONE CALL SYSTEM  
 1-800-245-4545  
 AT&T  
 AT 1-800-828-5127  
 THE LONE STAR NOTIFICATION CENTER  
 1-800-669-8344  
 TEXAS EXCAVATION SAFETY SYSTEM  
 1-800-344-8377



- UTILITIES NOTES**
- CONTRACTOR SHALL VERIFY EXISTING WATER MAIN AND SANITARY SEWER MAIN LOCATIONS AND ELEVATIONS BEFORE STARTING ANY WORK. ALSO CONTRACTOR SHALL CONTACT CITY OF WEBB COUNTY OFFICIALS TO GET APPROVAL ON WATER AND SANITARY SEWER CONNECTION MAINS BEFORE STARTING ANY WORK. CONTRACTOR SHALL CONTACT OWNER AND ENGINEER IF ANY CONFLICTS OR DIFFERENCES ARE NOTED.
  - WATER LINE SHALL HAVE A 2' MINIMUM COVER.
- GENERAL NOTES**
- MATERIAL DISPOSAL - THE CONTRACTOR SHALL NOTIFY THE PUBLIC COUNTY ENGINEER IN WRITING OF PROPOSED MATERIAL DISPOSAL SITES TO BE UTILIZED OUTSIDE OF THE PROJECT LIMITS AND INSIDE THE CITY OF WEBB COUNTY.
  - DISPOSAL OF ALL DEMOLISHED MATERIALS IS THE RESPONSIBILITY OF THE CONTRACTOR AND MUST BE OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL MUNICIPAL REQUIREMENTS.
  - THE CONTRACTOR SHALL PROTECT AND/OR CAP OFF ALL EXISTING ON-SITE UTILITY SERVICES DESIGNATED ON THESE DRAWINGS. SERVICES SHALL BE CAPPED OFF WHERE SAME ENTER THE PERIMETER OF THE PROPERTY LINE.
  - WHERE A STATE OR LOCAL MUNICIPAL STANDARD DETAIL DUPLICATES A DETAIL SHOWN IN THE PLANS, THE MORE STRINGENT DETAIL, AS DETERMINED BY THE REVIEWING AGENCY, SHALL APPLY.
  - THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIG TEST" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLAN PER THE APPROPRIATE REMEDIAL ACTION AGREED UPON BY THE ENGINEER.
  - CONTRACTOR SHALL RELOCATE BENCHMARKS AS NECESSARY.
  - CONTRACTOR IS RESPONSIBLE FOR VERIFYING AND LOCATING ALL EXISTING UTILITY LINES AND COORDINATING ALL RELOCATIONS AND REMOVALS WITH EACH UTILITY COMPANY. CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES CAUSED BY FAILURE TO LOCATE AND PRESERVE UNDERGROUND UTILITIES.
  - THE CONTRACTOR SHALL REQUEST ALL UTILITIES LINE LOCATION BEFORE PERFORMING ANY EXCAVATION AND SECURE A R.O.W. PERMIT FOR ALL PROPOSED PROJECT IMPROVEMENTS.
  - CONTRACTOR SHALL COORDINATE WATER LINE CONNECTION, BACK FLOW PREVENTOR REQUIREMENT AND ANY WORK ASSOCIATED WITH THE WATER LINE WITH WEBB COUNTY ENGINEER PRIOR TO STARTING ANY WORK ON THIS PLAN.
  - ALL ELECTRIC, GAS, WATER, STEAM, AND OTHER LINES SHALL BE SHUT OFF, CAPPED OR OTHERWISE CONTROLLED, OUTSIDE THE BUILDING LINE BEFORE DEMOLITION WORK IS STARTED. IN EACH CASE, ANY UTILITY COMPANY WHICH IS INVOLVED SHALL BE NOTIFIED IN ADVANCE.
  - CONTRACTOR SHALL COMPLY WITH OSHA SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION, STANDARD - 29 CFR, 1926.
  - CONTRACTOR SHALL CONTACT UTILITY COMPANIES TO COORDINATE ANY RELOCATION ADJUSTMENT, OR DEMOLITION OF UTILITIES PRIOR TO START ANY WORK.
- CONTACT INFORMATION**
- COUNTY ENGINEER  
 ARTURO R. BARRERA, JR., P.E., PMP  
 WEBB COUNTY ENGINEER  
 (856) 523-4054



919 Victoria  
 Laredo, TX 78040  
 P 956.728.186  
 F 815.846.1546  
 hickeypena.com

STATE OF TEXAS  
 OSCAR CASTILLO  
 95620  
 LICENSED PROFESSIONAL ENGINEER  
 09/25/12

**LA PRESA PARK FOR WEBB COUNTY**  
 1983 MANGANA HEIN RD  
 LAREDO, TX 78046

**SLAY ENGINEERING**  
 Company, Inc.  
 REGISTRATION NUMBER: F-1901  
 9901 McPherson Avenue, Suite 104  
 Laredo, Texas 78045  
 (956) 791-0815 - tel.  
 (956) 791-1703 - fax

EST. 1982

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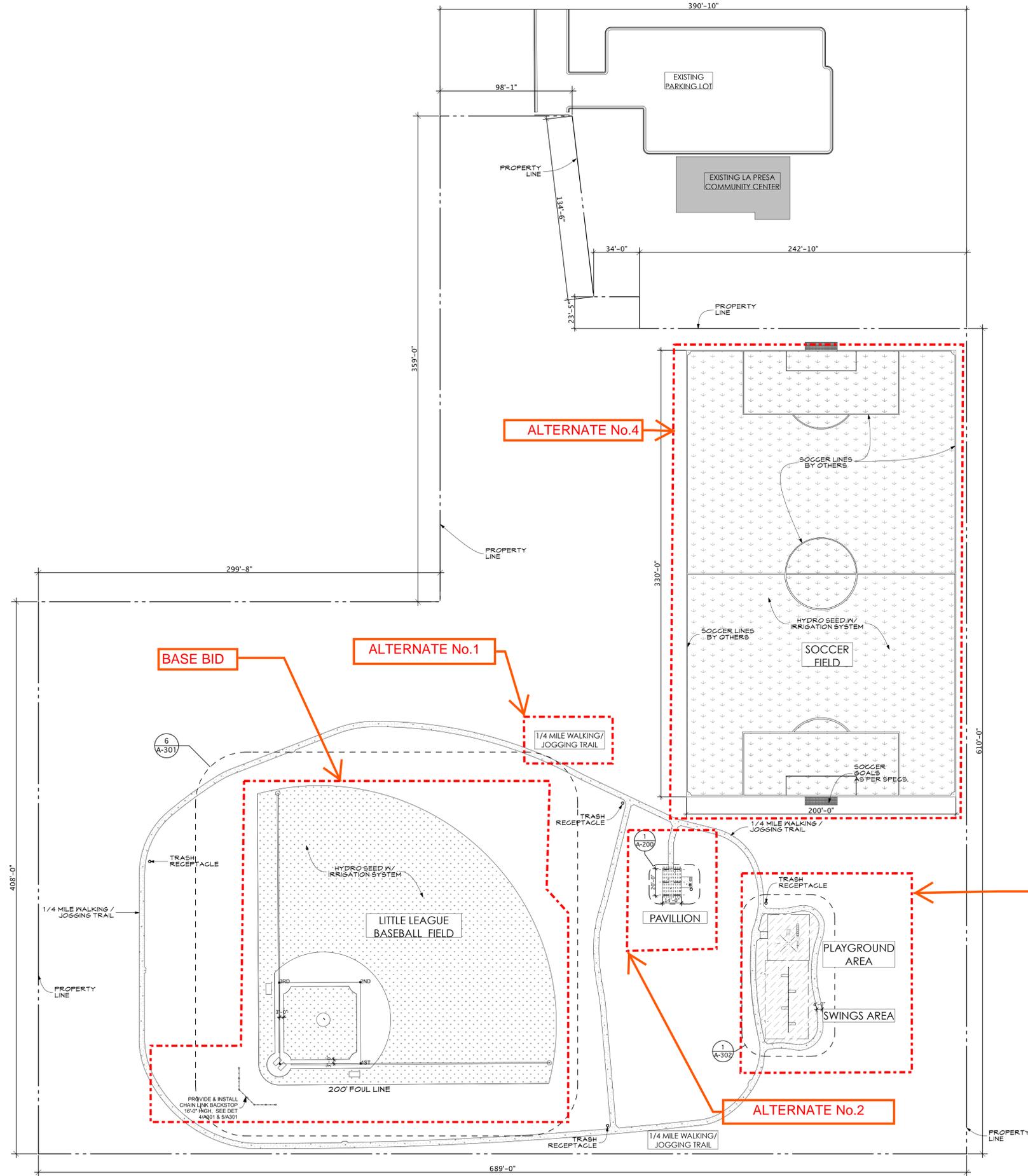
DATE: SEPTEMBER 2011  
 REVISIONS:

UTILITY PLAN

SHEET NO.:  
**C4.0**  
 JOB NO.: 09650



**1 SITE PLAN**  
SCALE: 1" = 40'



**GENERAL NOTES:**

- CONTRACTOR TO REMOVE ANY ABANDON UTILITIES LINES THROUGHOUT SITE.
- ALL EXISTING TRAFFIC SIGNAGE TO REMAIN; PROTECT DURING DEMOLITION OPERATIONS. IF DAMAGED BY DEMOLITION OPERATIONS, REPLACE AS REQUIRED BY THE CITY OF LAREDO, TEXAS.
- PROVIDE BARRICADES/ FENCING AT LIMITS OF DEMOLITION WORK AREA TO PREVENT UNAUTHORIZED ACCESS TO WORK SITE.
- ALL EXISTING OFF-SITE IMPROVEMENTS, PUBLIC STREETS, CURVE AND GUTTER, SIDEWALKS, SIGNAGE, UTILITIES, ETC. TO REMAIN; PROTECT DURING DEMOLITION OPERATIONS. IF DAMAGED, REPAIR AS REQUIRED BY AUTHORITY HAVING JURISDICTION.
- CONTRACTOR TO BE RESPONSIBLE FOR ALL IMPROVEMENTS NECESSARY TO ACCOMMODATE THE NEW DRIVEWAYS TO STREET.
- COORDINATE WITH ARCHITECT IF THERE ARE ANY DISCREPANCIES OR CONFLICTS ON ANY OF THE DRAWINGS. FAILURE TO DO SO DEEMS THE ARCHITECT
- CONTRACTOR TO ISOLATE ANY NEW CONSTRUCTION FROM CONFLICTING UNDERGROUND UTILITIES AS PER THE AFFECTED UTILITY OWNER'S & INSTRUCTIONS. IF MODIFICATIONS TO NEW UNDERGROUND STRUCTURES NEED TO BE MADE, CONTRACTOR TO SUBMIT MODIFICATIONS FOR APPROVAL BY ARCHITECT.
- CONTRACTOR TO PAINT ALL EXPOSED CONDUITS. TO MATCH COLOR OF MOUNTED SURFACE.
- CONTRACTOR TO SEAL ALL STONE VENEER REFER TO SPECIFICATIONS FOR ANTI-GRAFFITI COATINGS ON SECTION: 071917.
- ALL EXPOSED METAL TO BE GALVANIZED.

**LEGEND**

- HYDRO-MULCH BERMUDA COMMON SOD FOR FULL COVERAGE WITH AUTOMATIC SPRINKLER SYSTEM THRU-OUT AREA AS SHOWN.
- CONCRETE SIDE WALK
- ENGINEERED WOOD FIBER

**BASEBALL & SOCCER FIELD NOTES:**

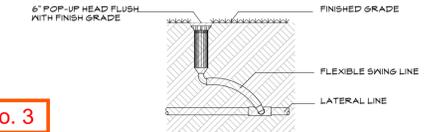
- GAME LINES PROVIDED BY OTHERS.
- NEW SOCCER GOALS & BASEBALL BACKSTOP TO BE FURNISHED AND INSTALLED BY CONTRACTOR. COORD W/ OWNER FOR APPROPRIATE LOC.
- PROVIDE IRRIGATION SYSTEM @ BASEBALL & SOCCER FIELDS BASEBALL & SOCCER FIELD SURFACES TO BE COMPACTED EARTH AS PER CIVIL DWGS FREE OF ANY DEBRI & VEGETATION.
- ALTERNATE: SOCCER FIELD SHALL BE PRICED SEPARATELY AS ALTERNATE No. 04. PROVIDE SOCCER FIELD (WITH SPORTS EQUIPMENT) AS SHOWN ON SHEET C2.0 AND C3.0 CONTRACTOR SHALL INCLUDE ALL LABOR, MATERIALS, AND EQUIPMENT.

**LANDSCAPING NOTES**

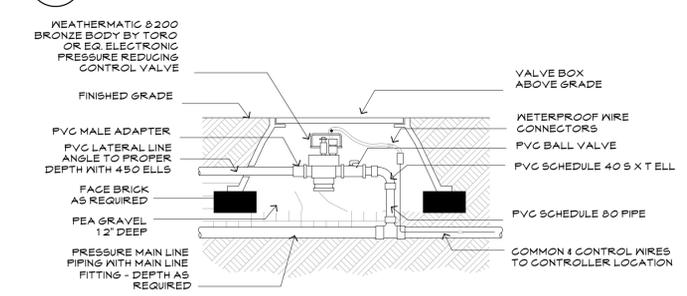
- ALL AREAS SHOWN FOR HYDRO-MULCH BERMUDA AND TREES SHALL HAVE A LICENSED DESIGNED FULLY AUTOMATIC IRRIGATION SYSTEM TO PROVIDED 100% COVERAGE. PROVIDE FOR ARCHITECT'S REVIEW & APPROVAL COMPLETE SHOP DRAWINGS, CUT SHEETS, AND DETAIL LAYOUT OF PROPOSED LINE SYSTEM. SYSTEM SHALL BE DESIGNED FOR COMMERCIAL APPLICATIONS, PROVIDE ALL WATER METERS REQUIREMENTS.
- REFER TO CIVIL DRAWINGS FOR NEW SERVICE LINES AS PROPOSED FOR PROJECT. COORDINATE EARLY ON WITH UTILITY CONTRACTOR FOR PROPOSED LOCATIONS FOR TAPS TO ALLOW EASY CONNECTIONS AT END OF PROJECT.
- REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION. COORDINATE WITH ARCHITECT IN CASE OF ANY DISCREPANCIES. PRIOR TO COMMENCING ANY WORK.
- FINAL GRADE TO BE FREE OF DEBRIS AND HAVE A SOIL COMPOSITION AS RECOMMENDED BY HYDRO-MULCH PROVIDER

**DEMOLITION NOTES:**

- REMOVE AND DISPOSE ANY EXISTING TREES OBSTRUCTING NEW STRUCTURES. VERIFY WITH ARCHITECT BEFORE TREE REMOVAL.
- CONTRACTOR TO INSTALL NEW ADEQUATE FOUNDATIONS FOR THESE ITEMS LOCATED AS PER PLANS AS DIR. BY ARCHITECT. CONTRACTOR TO DEMOLISH AND DISPOSE OF ANY OTHER MINOR OBSTRUCTIONS EITHER EXPOSED OR ENCOUNTERED DURING CONSTRUCTION TO NEW FACILITIES.



**2 TYP SPRINKLER HEAD**  
SCALE: 1" = 1'-0"



**3 TYP. CONTROL VALVE**  
SCALE: 1" = 1'-0"



DIGITALLY SIGNED NOV. 16, 2016

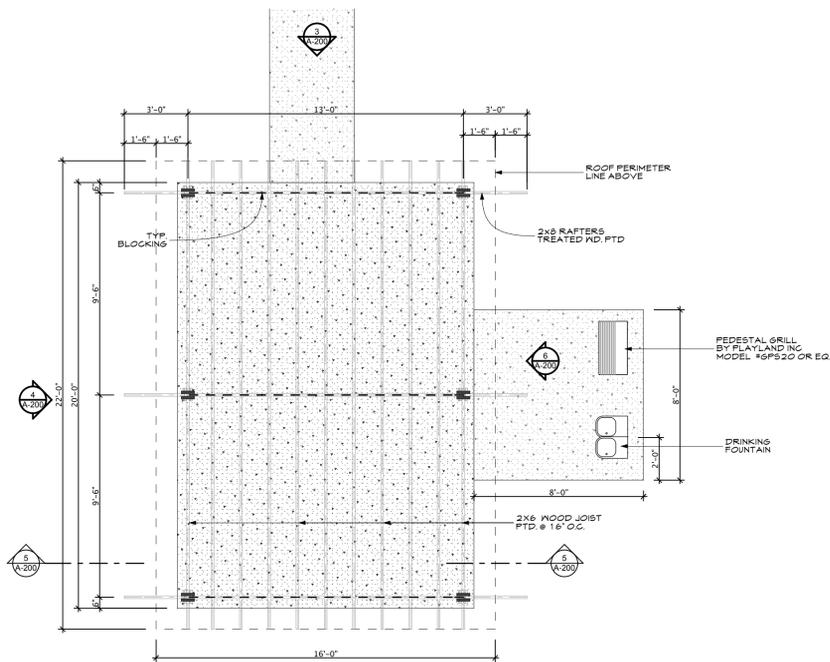
LA PRESA PARK FOR WEBB COUNTY  
1983 MANGANA HEIN RD LAREDO, TX 78046

CONSULTANT

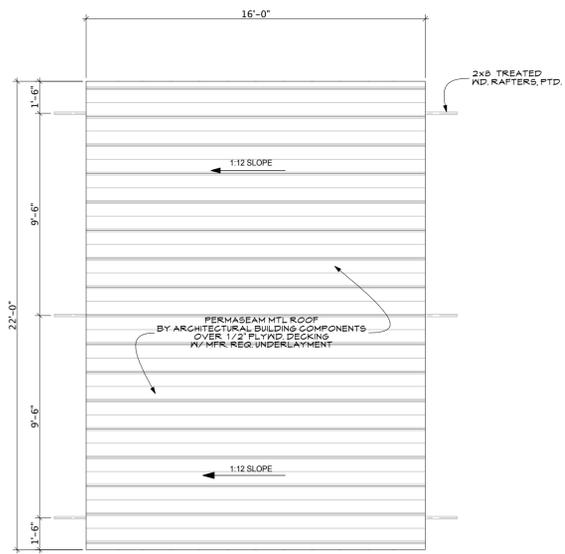
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DATE: 11-16-2016

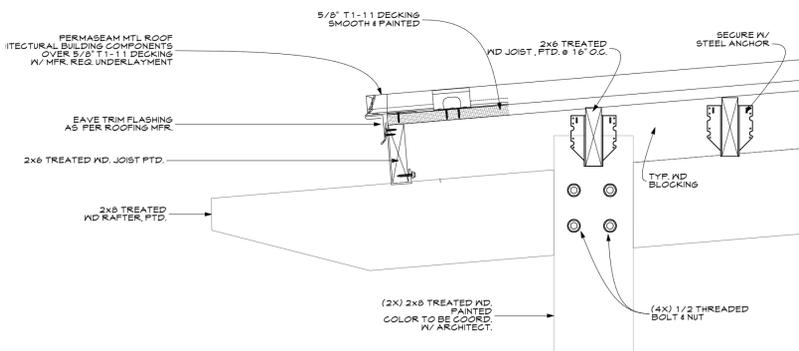
REVISIONS:



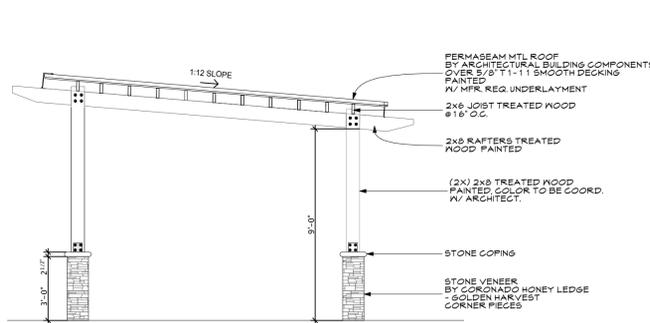
1 PAVILION FLOOR/ FRAMING PLAN (ALTERNATE 2)  
SCALE: 1/4" = 1'-0"



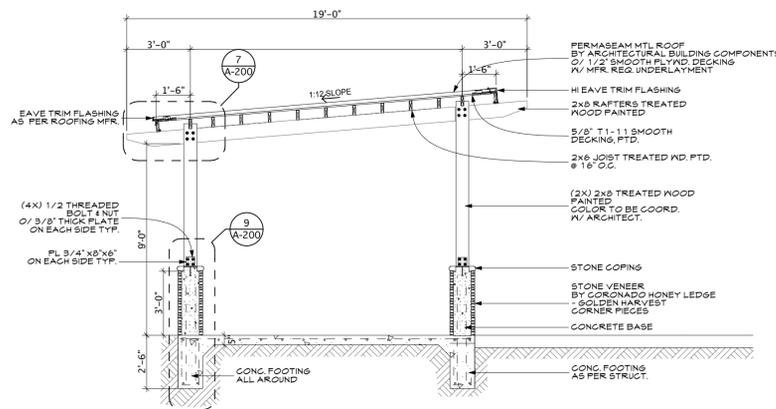
2 ROOF PLAN (ALTERNATE 2)  
SCALE: 1/4" = 1'-0"



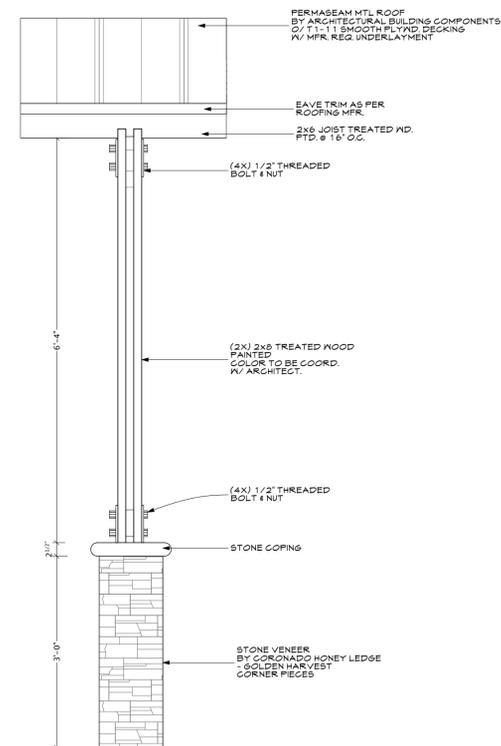
7 ROOF CONNECTION DETAIL  
SCALE: 1 1/2" = 1'-0"



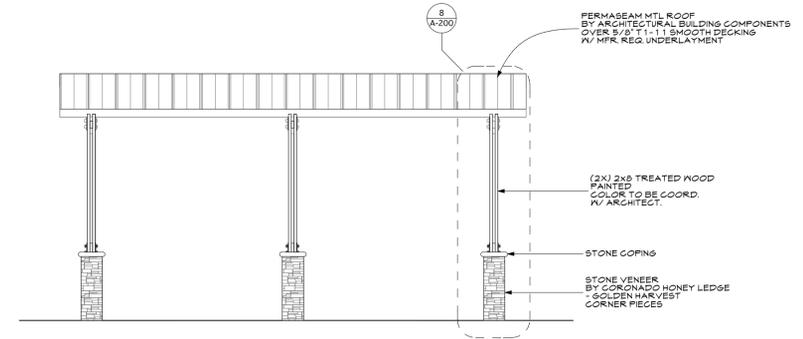
3 NORTH ELEVATION  
SCALE: 1/4" = 1'-0"



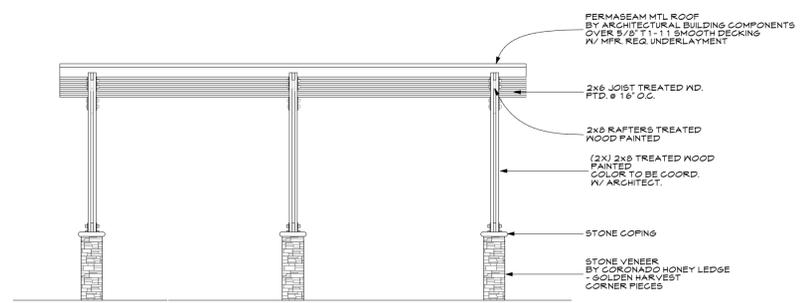
5 SECTION/SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"



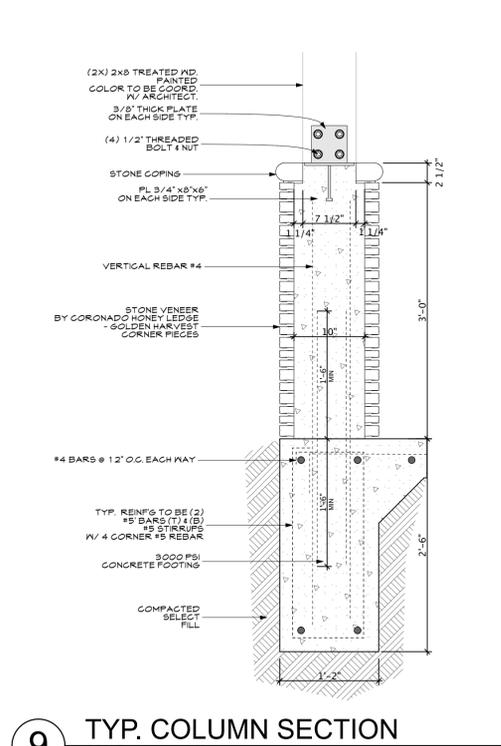
8 TYP. COLUMN DETAIL  
SCALE: 3/4" = 1'-0"



4 WEST ELEVATION  
SCALE: 1/4" = 1'-0"



6 EAST ELEVATION  
SCALE: 1/4" = 1'-0"



9 TYP. COLUMN SECTION  
SCALE: 1" = 1'-0"

- IMPORTANT NOTES:**
1. USE PROTECTOSIL-AQUA-TRETE SG ON ALL STONE VENEER & STONE COPING.
  2. ALL EXPOSED METAL MATERIALS PARTS, ETC TO BE GALVANIZED.

**ALTERNATES:**  
PAVILION SHALL BE PRICED SEPARATELY AS ALTERNATE No. 02. PROVIDE PAVILION STRUCTURE AS DELINEATED ON SHEET A-200 INCLUDING PLUMBING AS SHOWN ON SHEET CA-4.0. CONTRACTOR SHALL INCLUDE ALL LABOR, MATERIAL, AND EQUIPMENT.



DIGITALLY SIGNED NOV. 16, 2016

LA PRESA PARK FOR WEBB COUNTY  
1983 MANGANA HEIN RD  
LAREDO, TX 78046

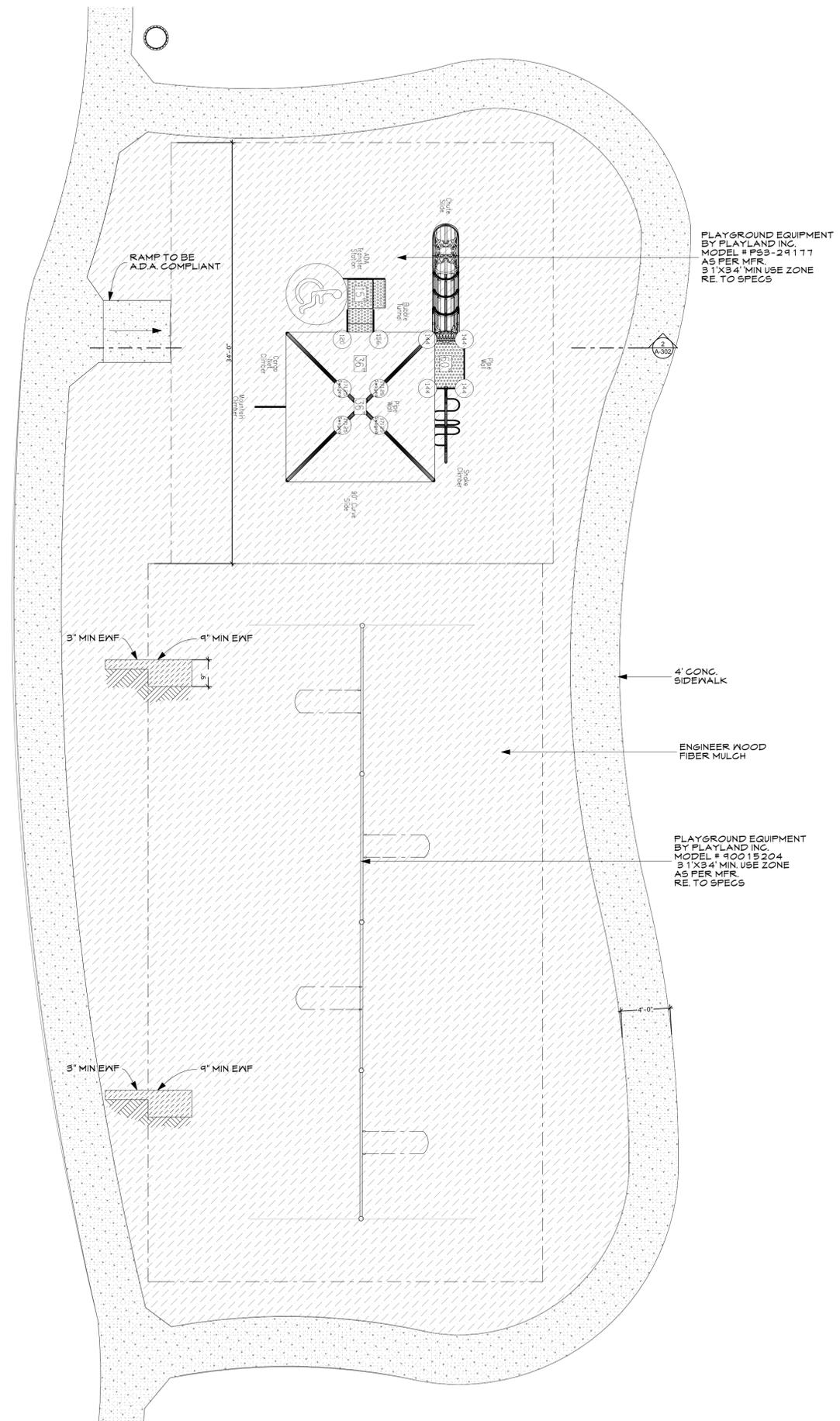
CONSULTANT

PAVILION FLOOR PLAN & ELEVATIONS

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DATE: 11-16-2016  
REVISIONS:





**NOTES:**  
 ALL PLAYGROUND EQUIPMENT BY PLAYLAND INC. PROVIDED & INSTALLED BY CONTRACTOR. SEE SPECIFICATIONS FOR PLAYGROUND EQUIPMENT SCHEDULE. COORD. W/ ARCHITECT FOR LOCATION.  
 PROVIDE & INSTALL ENGINEERED WOOD FIBER (EWF) FILL 9" DEEP ALL PLAYGROUND EQUIPMENT AND A MIN. OF 6" DEEP THROUGH OUT PLAYGROUND PITS. EWF TO BE WOODCARPET BY ZEAGER RECREATIONAL SURFACING OR APPROVED EQUAL. SEE DETAIL FOR STORM DRAINAGE PLAN.  
 INSTALLATION OF EWF MUST COMPLY WITH MANUFACTURER SPECIFICATION & WITH A.D.A., ASTM, CPSC & CSA STANDARDS FOR PLAYGROUND AREAS.

**ALTERNATE:**  
 JOGGING TRAIL SHALL BE PRICED SEPARATELY AS ALTERNATE No. 01. PROVIDE CONCRETE WALKING TRAIL AS DELINEATED ON SHEET C.2 AND DETAIL 3/A-302. CONTRACTOR SHALL INCLUDE ALL LABOR, MATERIALS, AND EQUIPMENT.

PLAYGROUND AND SWINGS AREA SHALL BE PRICED SEPARATELY AS ALTERNATE No. 03. PROVIDE PLAYGROUND AND SWING AREA AS DELINEATED ON SHEET A-302 INCLUDING PLAYGROUND FLOORING MATERIAL. CONTRACTOR SHALL INCLUDE ALL LABOR, MATERIAL, AND EQUIPMENT.

